

Local Market Update – February 2012

A RESEARCH TOOL PROVIDED BY THE CHARLOTTE REGIONAL REALTOR® ASSOCIATION
FOR MORE INFORMATION CONTACT A REALTOR®



Charlotte Regional Realtor® Association

- 5.0%

Change in
New Listings

+ 21.8%

Change in
Closed Sales

+ 0.5%

Change in
Median Sales Price

Entire CMLS Area

February

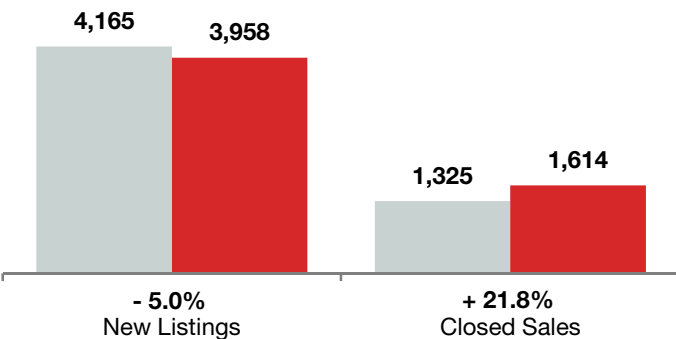
Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	4,165	3,958	- 5.0%	8,231	7,807	- 5.2%
Closed Sales	1,325	1,614	+ 21.8%	2,736	3,155	+ 15.3%
Median Sales Price*	\$144,750	\$145,450	+ 0.5%	\$143,755	\$146,000	+ 1.6%
Average Sales Price*	\$180,940	\$184,775	+ 2.1%	\$184,572	\$186,247	+ 0.9%
Percent of Original List Price Received*	87.7%	90.7%	+ 3.4%	88.0%	90.4%	+ 2.8%
List to Close	154	150	- 2.4%	154	153	- 1.3%
Inventory of Homes for Sale	23,015	17,811	- 22.6%	--	--	--
Months Supply of Inventory	12.4	8.9	- 28.3%	--	--	--

* Does not account for seller concessions. | Activity for one month can sometimes look extreme due to small sample size.

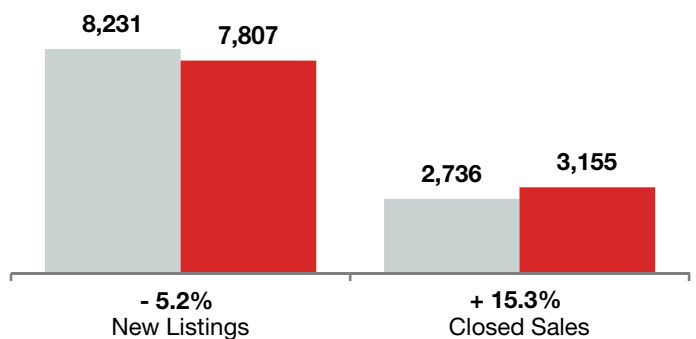
February

■ 2011 ■ 2012



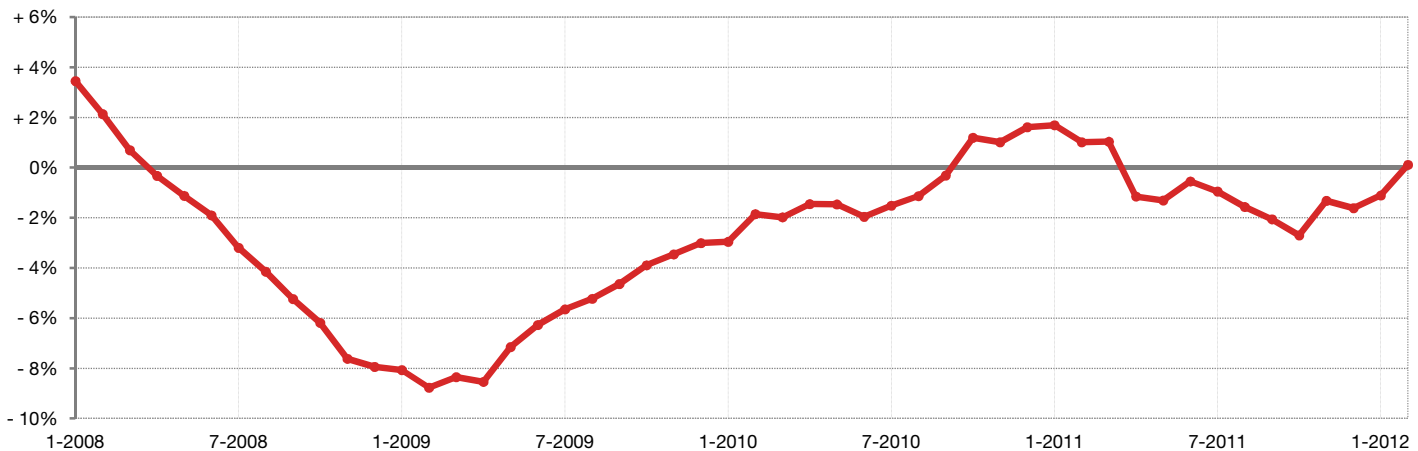
Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**

Entire CMLS Area



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Charlotte Regional Realtor® Association

Cabarrus County

+ 9.3%

Change in
New Listings

+ 6.9%

Change in
Closed Sales

+ 1.3%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	332	363	+ 9.3%	620	655	+ 5.6%
Closed Sales	116	124	+ 6.9%	226	229	+ 1.3%
Median Sales Price*	\$160,000	\$162,000	+ 1.3%	\$155,250	\$157,500	+ 1.4%
Average Sales Price*	\$173,170	\$171,815	- 0.8%	\$179,687	\$174,275	- 3.0%
Percent of Original List Price Received*	90.6%	90.3%	- 0.3%	90.5%	91.6%	+ 1.3%
List to Close	131	147	+ 12.1%	150	140	- 6.5%
Inventory of Homes for Sale	1,663	1,428	- 14.1%	--	--	--
Months Supply of Inventory	11.6	9.9	- 14.9%	--	--	--

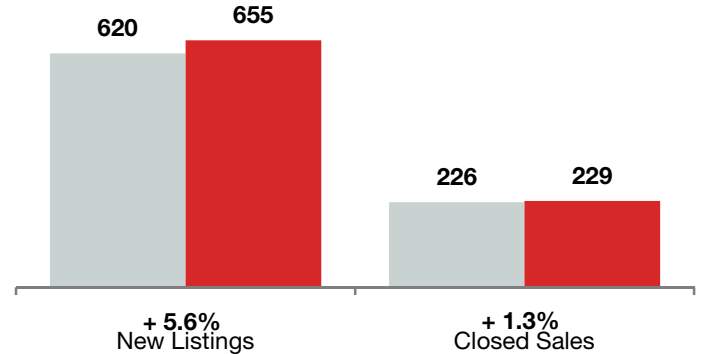
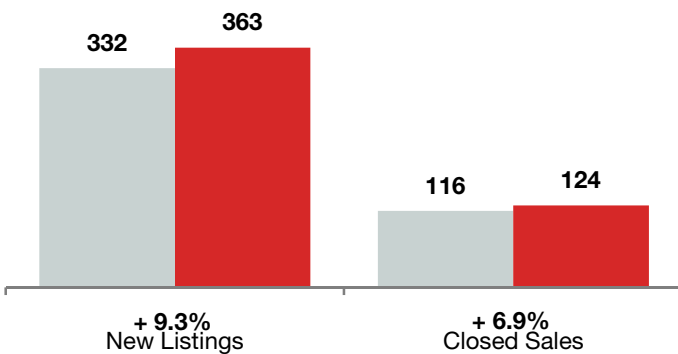
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February

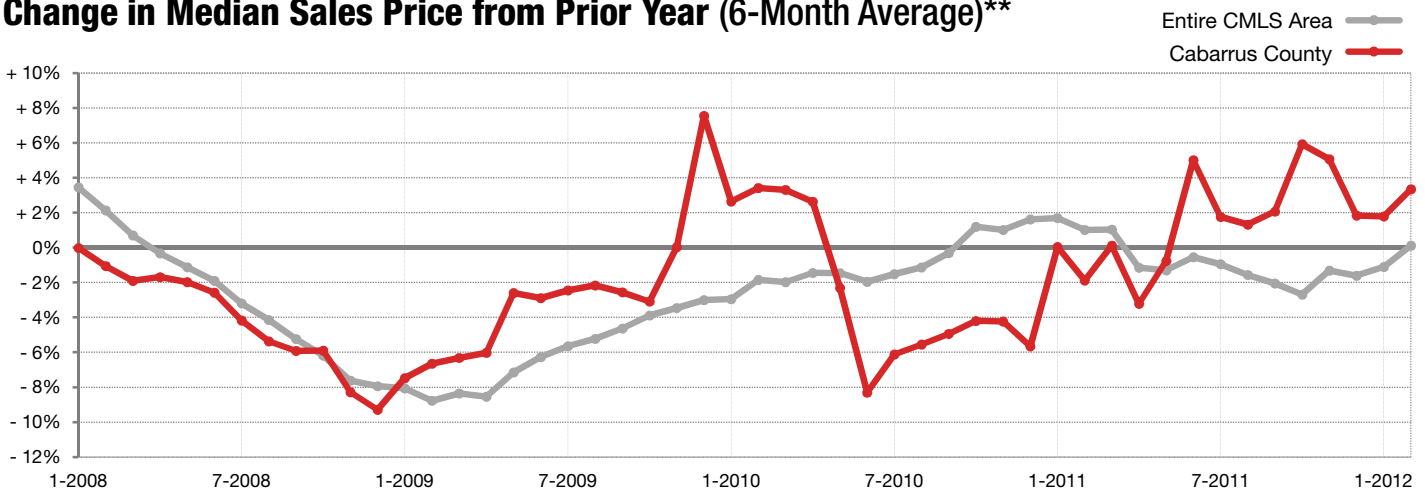
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Gaston County

- 16.9%

Change in
New Listings

+ 20.2%

Change in
Closed Sales

+ 13.0%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	313	260	- 16.9%	594	593	- 0.2%
Closed Sales	94	113	+ 20.2%	200	218	+ 9.0%
Median Sales Price*	\$85,835	\$97,000	+ 13.0%	\$98,950	\$101,000	+ 2.1%
Average Sales Price*	\$114,392	\$120,699	+ 5.5%	\$115,999	\$115,897	- 0.1%
Percent of Original List Price Received*	85.3%	90.1%	+ 5.6%	85.6%	89.6%	+ 4.8%
List to Close	145	134	- 8.1%	153	148	- 3.3%
Inventory of Homes for Sale	1,619	1,342	- 17.1%	--	--	--
Months Supply of Inventory	11.7	10.0	- 14.2%	--	--	--

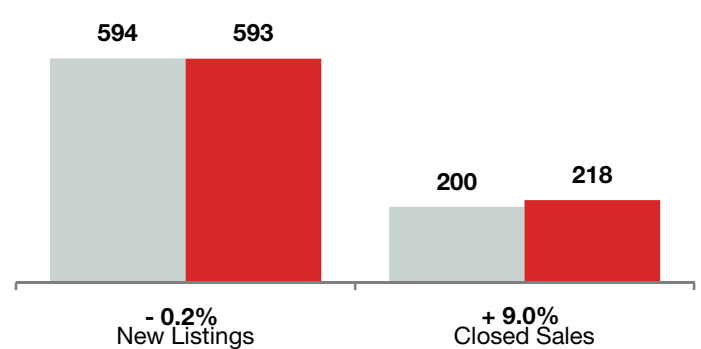
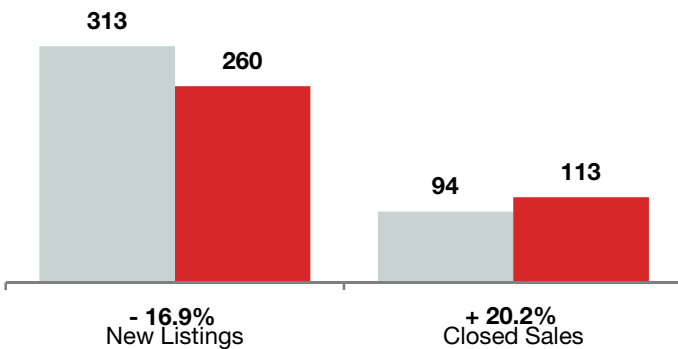
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February

■ 2011 ■ 2012

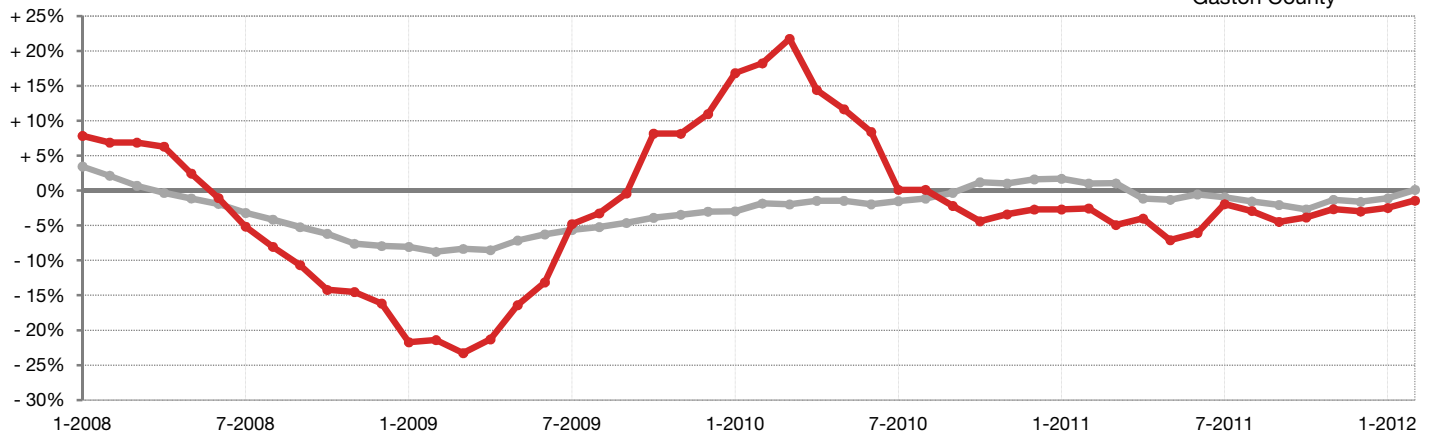
Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**

Entire CMLS Area —
Gaston County —



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Charlotte Regional Realtor® Association

Iredell County

- 11.5%

Change in
New Listings

+ 26.8%

Change in
Closed Sales

+ 19.5%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	312	276	- 11.5%	618	560	- 9.4%
Closed Sales	97	123	+ 26.8%	166	222	+ 33.7%
Median Sales Price*	\$154,000	\$184,000	+ 19.5%	\$154,550	\$173,000	+ 11.9%
Average Sales Price*	\$187,188	\$258,790	+ 38.3%	\$205,297	\$240,987	+ 17.4%
Percent of Original List Price Received*	84.9%	89.4%	+ 5.3%	85.2%	89.7%	+ 5.2%
List to Close	162	157	- 3.5%	167	167	+ 0.1%
Inventory of Homes for Sale	1,783	1,349	- 24.3%	--	--	--
Months Supply of Inventory	14.3	9.8	- 31.3%	--	--	--

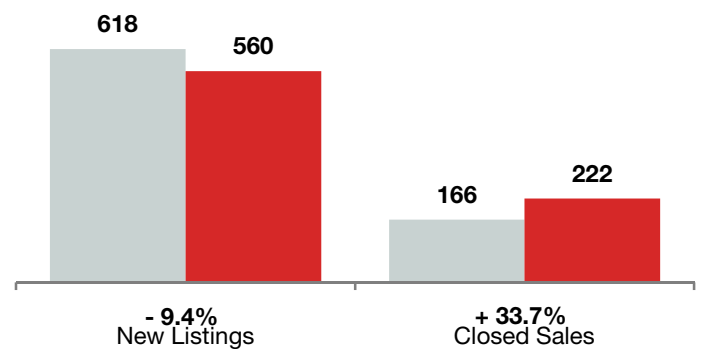
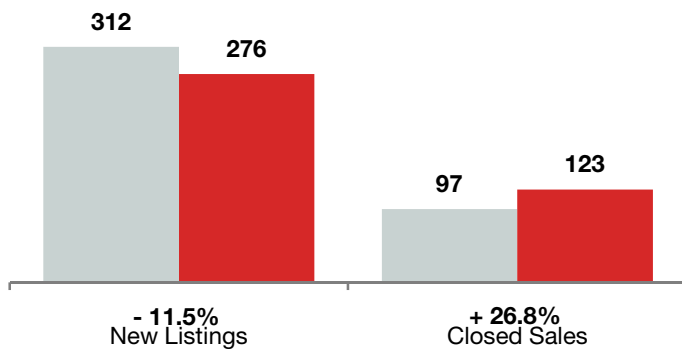
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■ 2011 ■ 2012

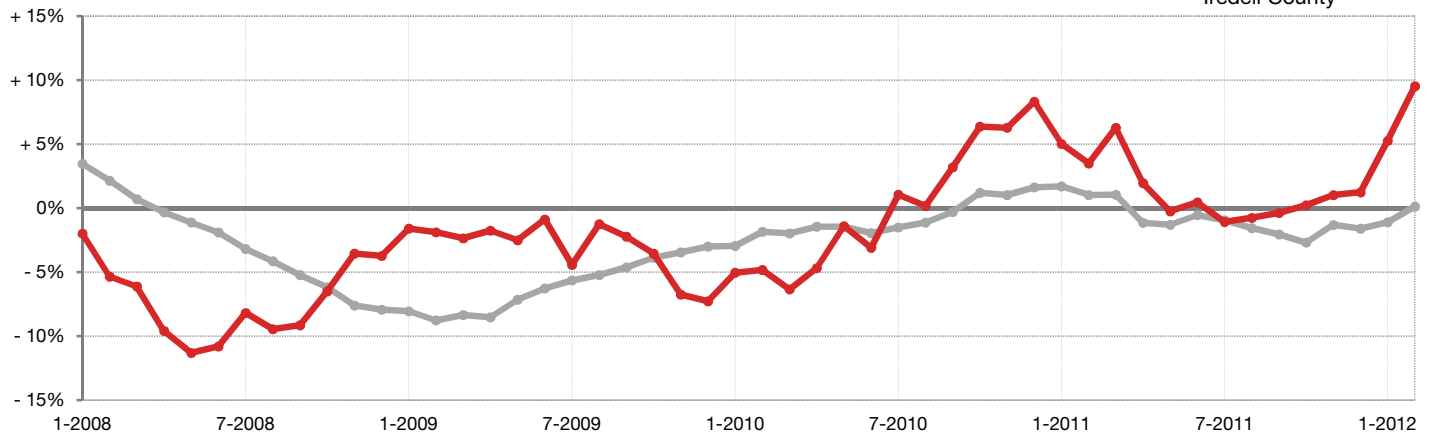
Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**

Entire CMLS Area —
Iredell County —



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Lincoln County

- 2.4%

Change in
New Listings

+ 9.3%

Change in
Closed Sales

- 12.9%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	123	120	- 2.4%	246	273	+ 11.0%
Closed Sales	43	47	+ 9.3%	82	94	+ 14.6%
Median Sales Price*	\$144,500	\$125,900	- 12.9%	\$118,500	\$126,587	+ 6.8%
Average Sales Price*	\$187,100	\$166,079	- 11.2%	\$166,341	\$171,797	+ 3.3%
Percent of Original List Price Received*	89.8%	91.2%	+ 1.5%	88.1%	89.8%	+ 1.9%
List to Close	175	132	- 24.9%	161	143	- 10.8%
Inventory of Homes for Sale	744	629	- 15.5%	--	--	--
Months Supply of Inventory	14.5	11.3	- 22.3%	--	--	--

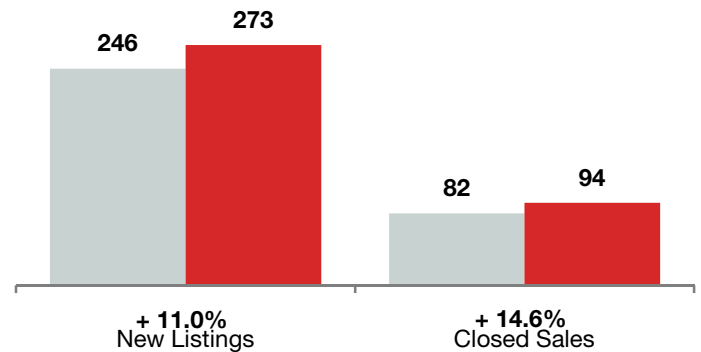
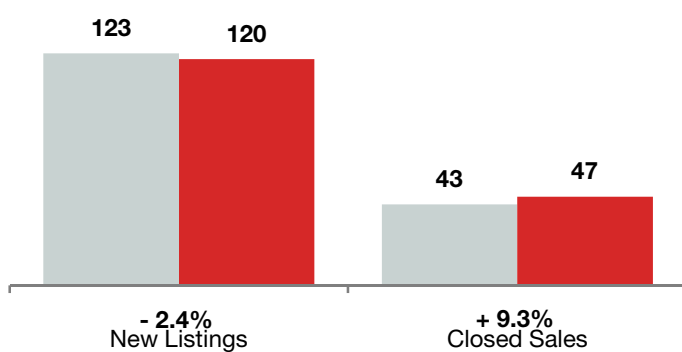
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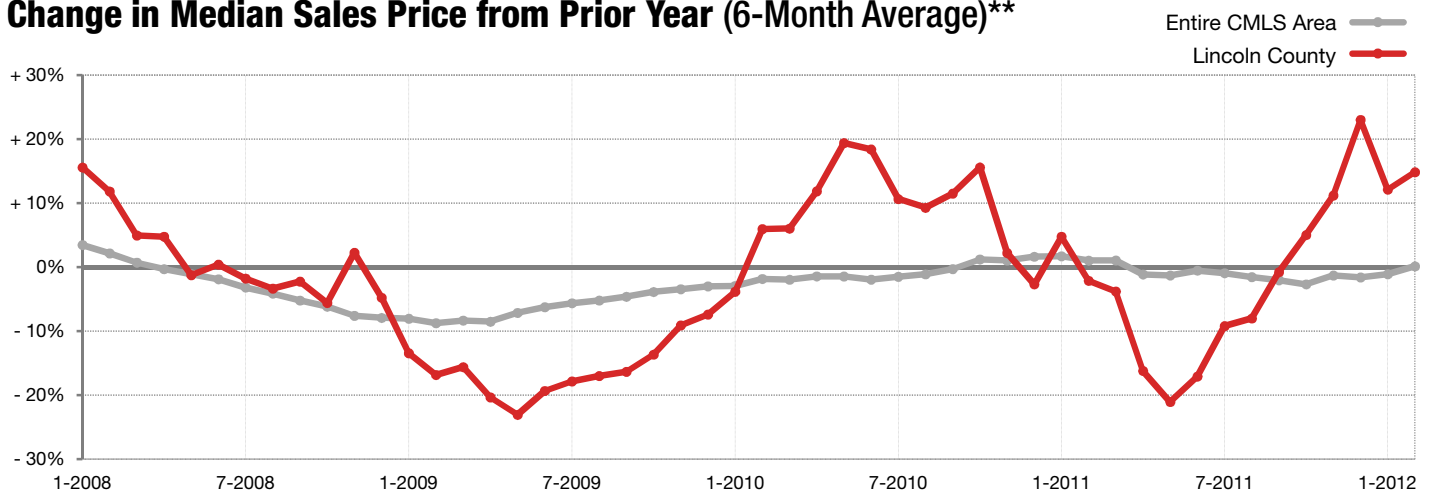
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Union County

+ 2.0%

Change in
New Listings

+ 32.8%

Change in
Closed Sales

+ 21.6%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	396	404	+ 2.0%	779	778	- 0.1%
Closed Sales	119	158	+ 32.8%	246	319	+ 29.7%
Median Sales Price*	\$156,250	\$190,000	+ 21.6%	\$163,450	\$167,750	+ 2.6%
Average Sales Price*	\$224,893	\$249,238	+ 10.8%	\$221,668	\$253,607	+ 14.4%
Percent of Original List Price Received*	87.5%	91.1%	+ 4.1%	87.6%	90.8%	+ 3.8%
List to Close	186	150	- 19.3%	177	154	- 13.1%
Inventory of Homes for Sale	2,093	1,688	- 19.4%	--	--	--
Months Supply of Inventory	12.0	8.7	- 27.4%	--	--	--

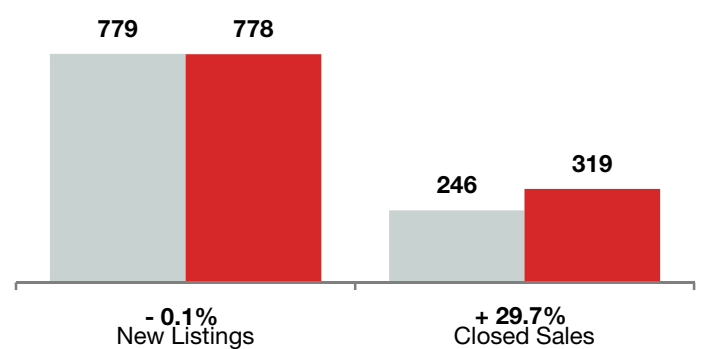
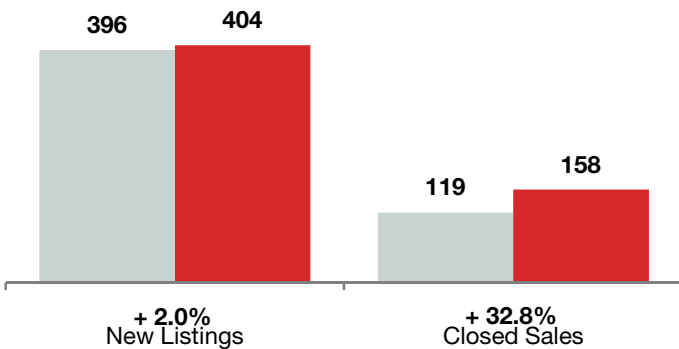
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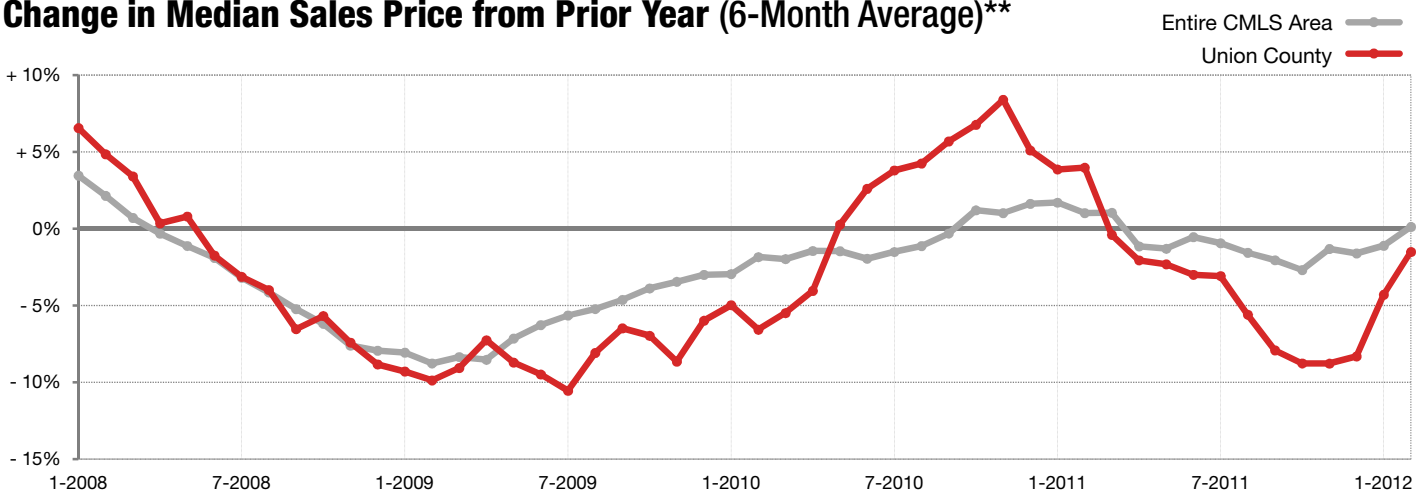
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Charlotte Regional Realtor® Association

York County, SC

- 4.7%

Change in
New Listings

+ 26.7%

Change in
Closed Sales

- 10.1%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	318	303	- 4.7%	623	591	- 5.1%
Closed Sales	101	128	+ 26.7%	185	252	+ 36.2%
Median Sales Price*	\$178,000	\$160,000	- 10.1%	\$168,500	\$166,100	- 1.4%
Average Sales Price*	\$207,649	\$187,087	- 9.9%	\$199,479	\$198,859	- 0.3%
Percent of Original List Price Received*	89.6%	91.0%	+ 1.6%	89.7%	92.5%	+ 3.1%
List to Close	191	167	- 12.6%	174	151	- 13.6%
Inventory of Homes for Sale	1,784	1,389	- 22.1%	--	--	--
Months Supply of Inventory	12.9	8.6	- 33.5%	--	--	--

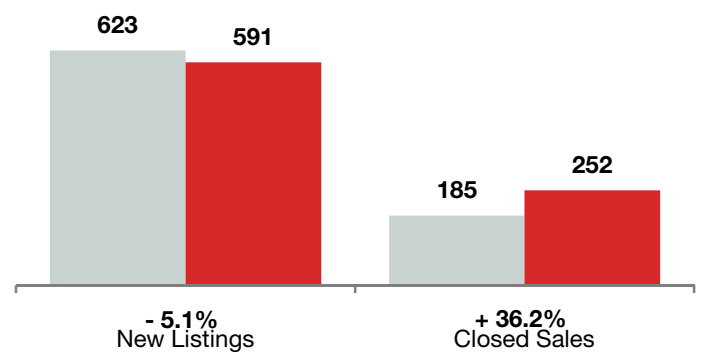
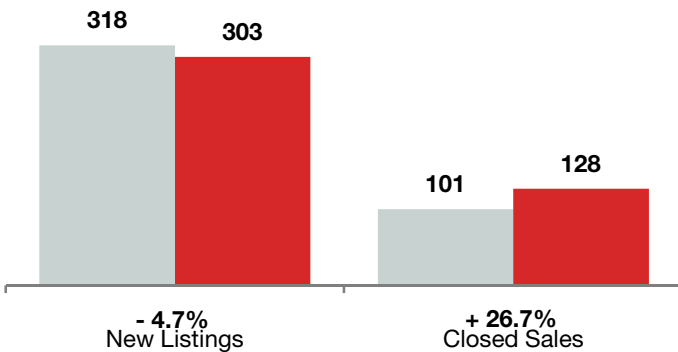
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■ 2011 ■ 2012

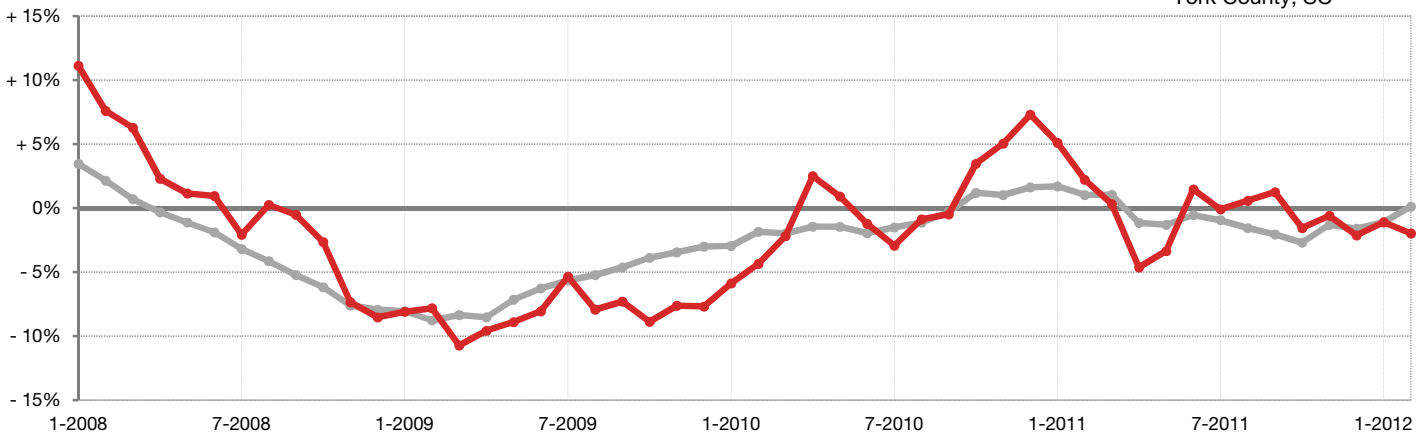
Year to Date

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Change in Median Sales Price from Prior Year (6-Month Average)**

Entire CMLS Area —
York County, SC —



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Charlotte Regional Realtor® Association

Mecklenburg County

- 7.0%

Change in
New Listings

+ 23.0%

Change in
Closed Sales

- 3.2%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	1,841	1,713	- 7.0%	3,707	3,275	- 11.7%
Closed Sales	574	706	+ 23.0%	1,294	1,411	+ 9.0%
Median Sales Price*	\$143,610	\$139,000	- 3.2%	\$149,485	\$145,000	- 3.0%
Average Sales Price*	\$187,078	\$182,230	- 2.6%	\$194,952	\$184,643	- 5.3%
Percent of Original List Price Received*	88.2%	91.4%	+ 3.6%	88.7%	91.0%	+ 2.7%
List to Close	142	148	+ 4.1%	144	152	+ 5.2%
Inventory of Homes for Sale	9,727	6,921	- 28.8%	--	--	--
Months Supply of Inventory	11.4	7.5	- 34.3%	--	--	--

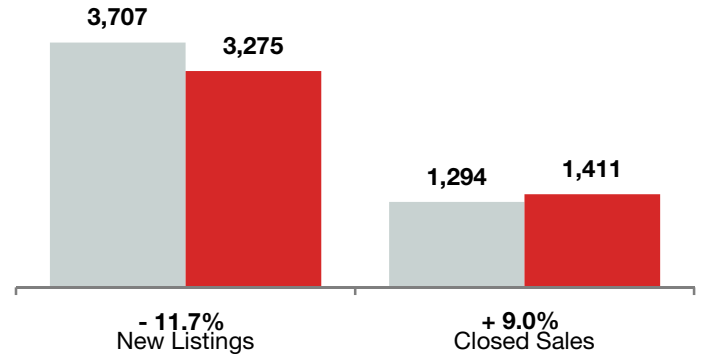
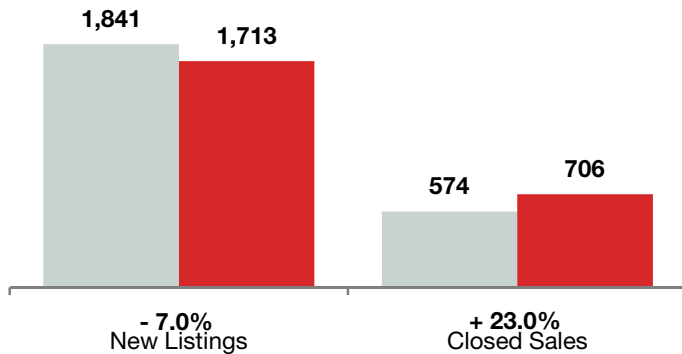
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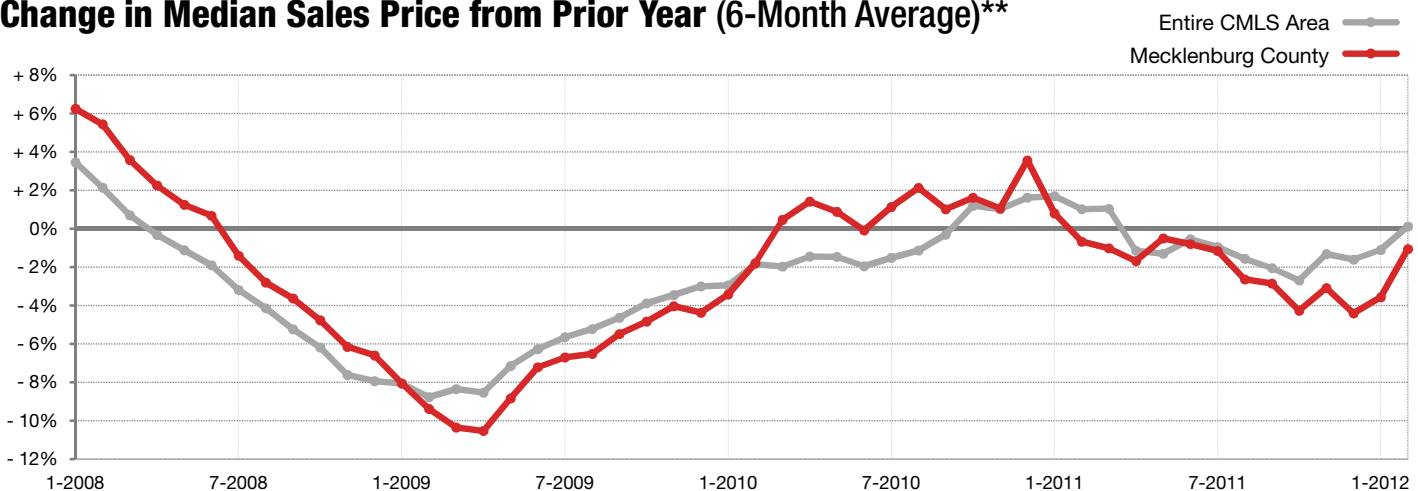
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Charlotte Regional Realtor® Association

Mecklenburg - (N) Area 01

- 6.0%

Change in
New Listings

+ 33.0%

Change in
Closed Sales

- 12.4%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	317	298	- 6.0%	635	561	- 11.7%
Closed Sales	97	129	+ 33.0%	217	263	+ 21.2%
Median Sales Price*	\$145,000	\$127,000	- 12.4%	\$140,000	\$130,000	- 7.1%
Average Sales Price*	\$163,215	\$143,880	- 11.8%	\$168,506	\$148,167	- 12.1%
Percent of Original List Price Received*	89.9%	93.0%	+ 3.5%	89.2%	91.7%	+ 2.7%
List to Close	145	146	+ 1.3%	146	151	+ 3.2%
Inventory of Homes for Sale	1,654	1,135	- 31.4%	--	--	--
Months Supply of Inventory	10.7	7.0	- 35.0%	--	--	--

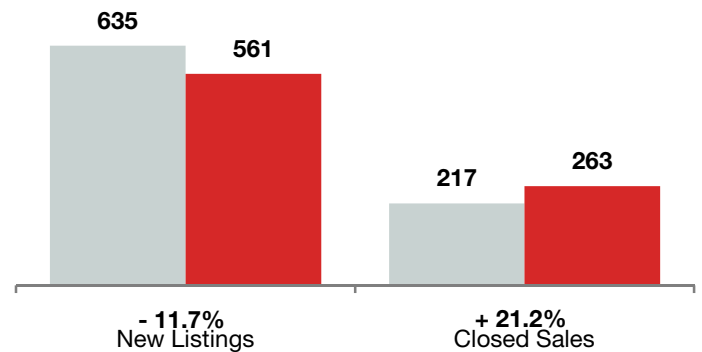
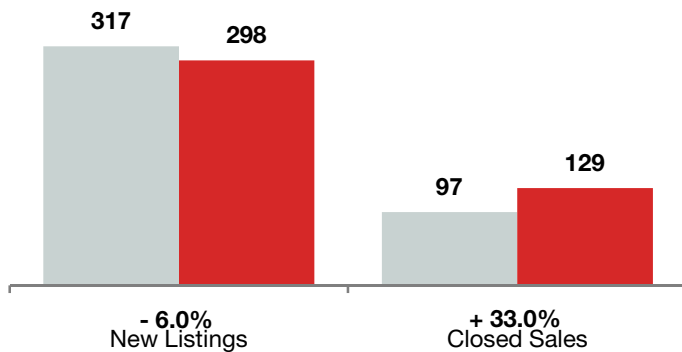
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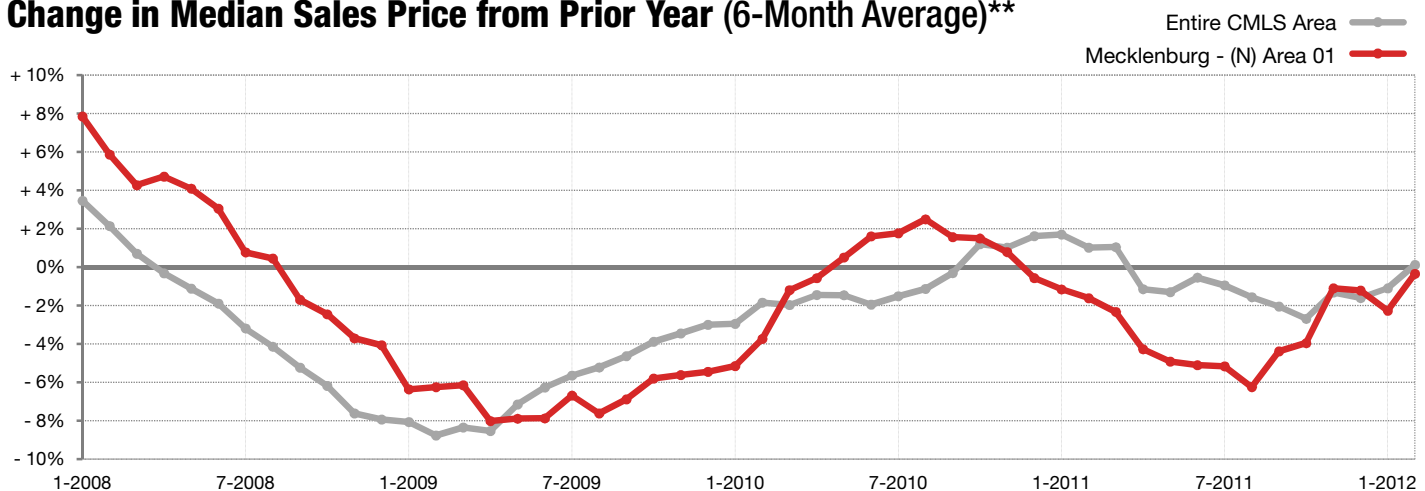
■ 2011 ■ 2012

Year to Date

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Charlotte Regional Realtor® Association

Mecklenburg - (E) Area 02

- 12.1%

+ 22.4%

- 10.6%

Change in
New Listings

Change in
Closed Sales

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	223	196	- 12.1%	435	385	- 11.5%
Closed Sales	76	93	+ 22.4%	173	193	+ 11.6%
Median Sales Price*	\$90,000	\$80,500	- 10.6%	\$92,500	\$89,900	- 2.8%
Average Sales Price*	\$107,932	\$99,098	- 8.2%	\$111,465	\$103,643	- 7.0%
Percent of Original List Price Received*	87.5%	91.0%	+ 4.1%	88.1%	91.3%	+ 3.7%
List to Close	133	125	- 5.6%	132	134	+ 1.5%
Inventory of Homes for Sale	1,132	784	- 30.7%	--	--	--
Months Supply of Inventory	10.7	6.9	- 35.8%	--	--	--

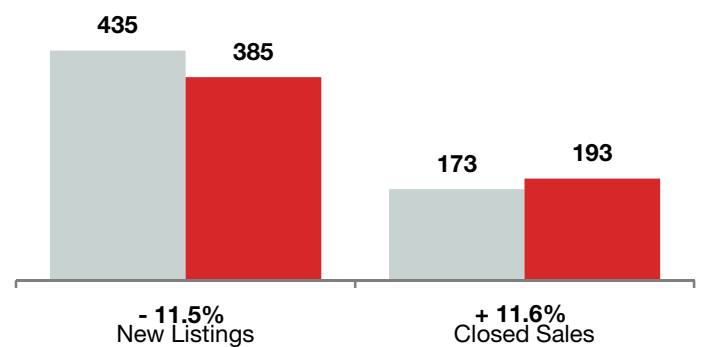
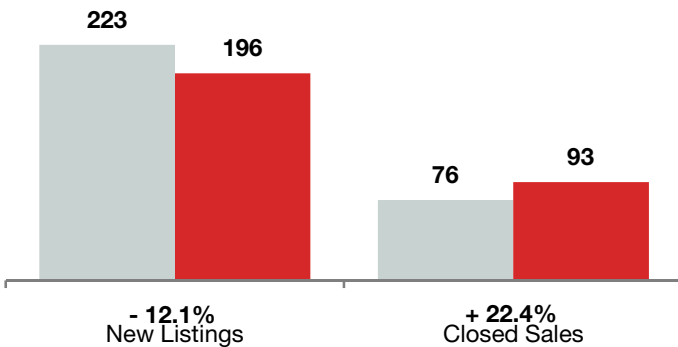
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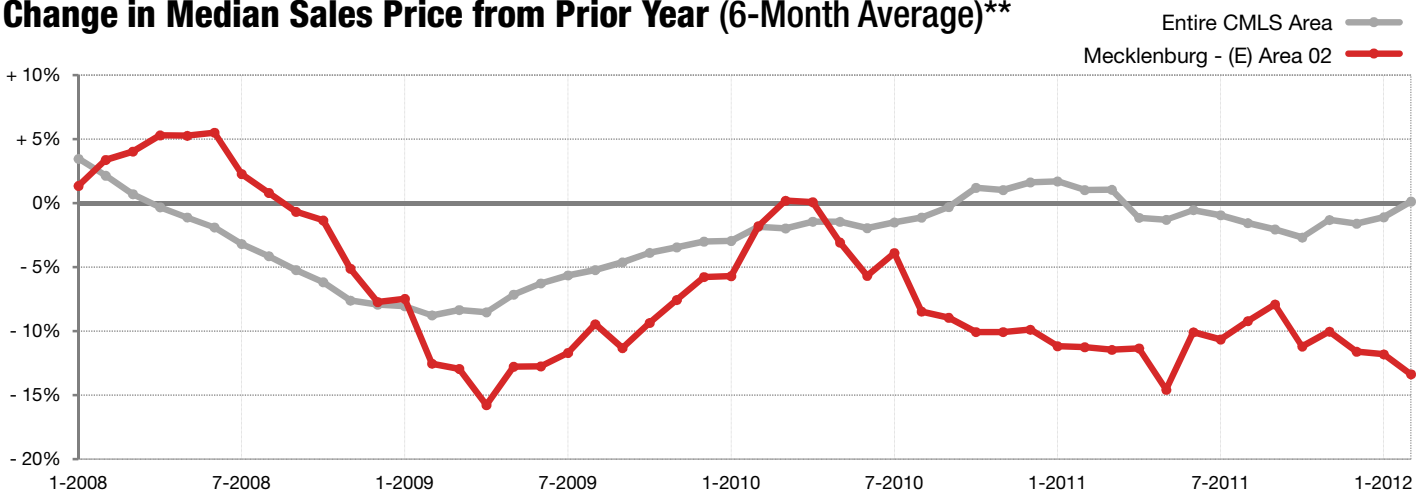
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Mecklenburg - (SE) Area 03

- 15.3%

Change in
New Listings

+ 51.2%

Change in
Closed Sales

+ 11.1%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	144	122	- 15.3%	294	251	- 14.6%
Closed Sales	41	62	+ 51.2%	98	118	+ 20.4%
Median Sales Price*	\$84,840	\$94,250	+ 11.1%	\$86,588	\$114,050	+ 31.7%
Average Sales Price*	\$116,338	\$123,732	+ 6.4%	\$121,461	\$129,505	+ 6.6%
Percent of Original List Price Received*	86.6%	91.1%	+ 5.2%	86.6%	91.4%	+ 5.6%
List to Close	125	143	+ 14.6%	127	135	+ 6.6%
Inventory of Homes for Sale	756	512	- 32.3%	--	--	--
Months Supply of Inventory	12.1	7.5	- 37.7%	--	--	--

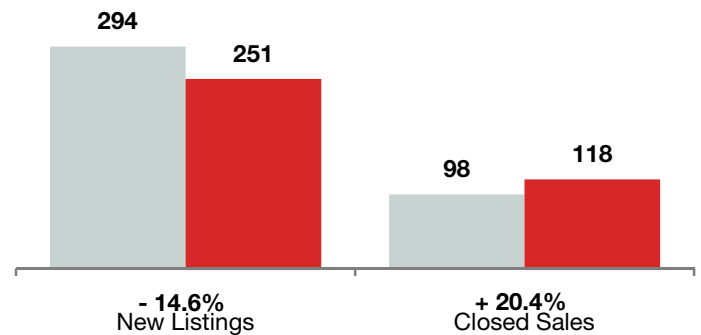
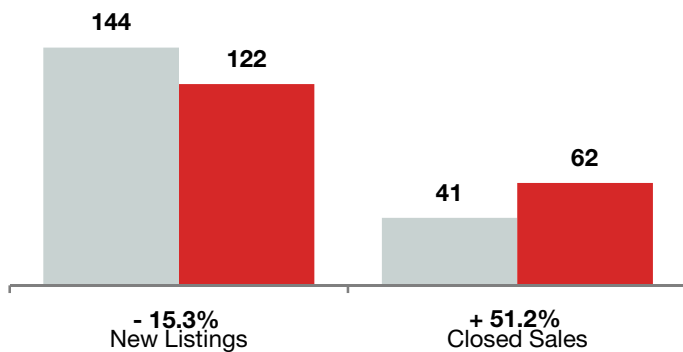
* Does not account for seller concessions. | Activity for one month can sometimes look extreme due to small sample size.

February

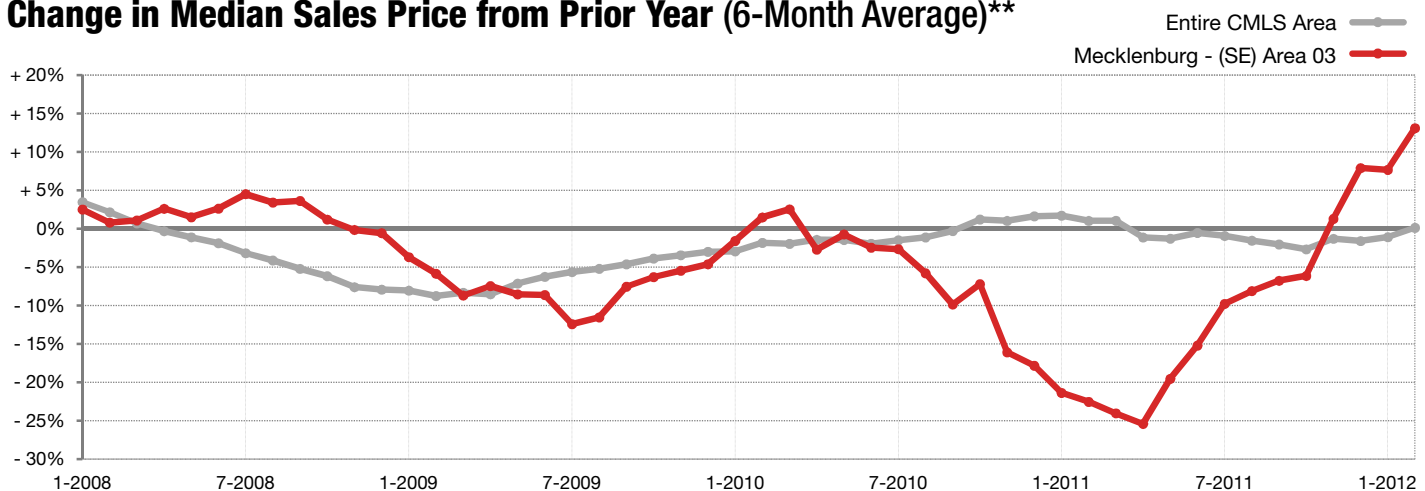
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Local Market Update – February 2012

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Mecklenburg - (SSE) Area 04

+ 5.4%

Change in
New Listings

- 3.4%

Change in
Closed Sales

+ 9.3%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	203	214	+ 5.4%	371	389	+ 4.9%
Closed Sales	59	57	- 3.4%	118	135	+ 14.4%
Median Sales Price*	\$215,000	\$235,000	+ 9.3%	\$213,750	\$233,000	+ 9.0%
Average Sales Price*	\$264,170	\$272,727	+ 3.2%	\$270,404	\$263,263	- 2.6%
Percent of Original List Price Received*	87.2%	91.5%	+ 5.0%	86.5%	91.2%	+ 5.5%
List to Close	164	144	- 12.0%	178	168	- 6.1%
Inventory of Homes for Sale	973	736	- 24.4%	--	--	--
Months Supply of Inventory	12.5	8.2	- 34.1%	--	--	--

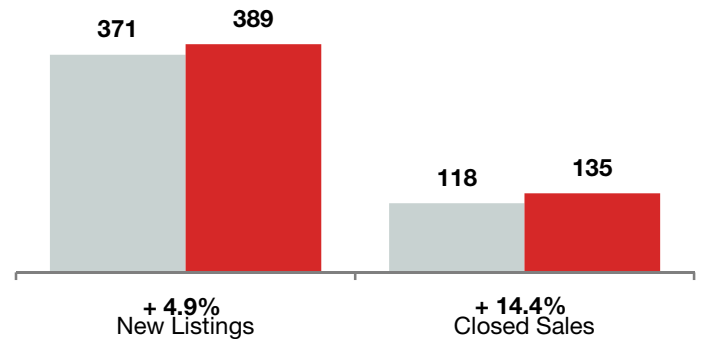
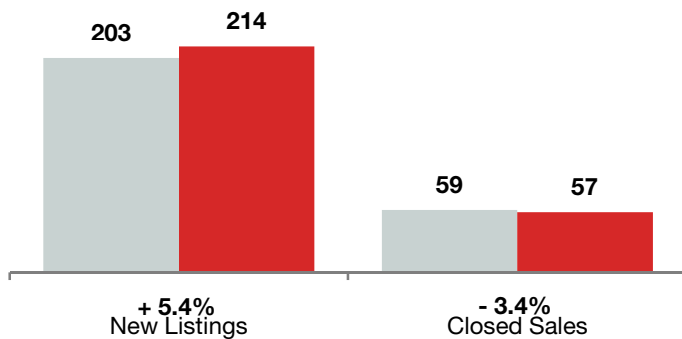
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February

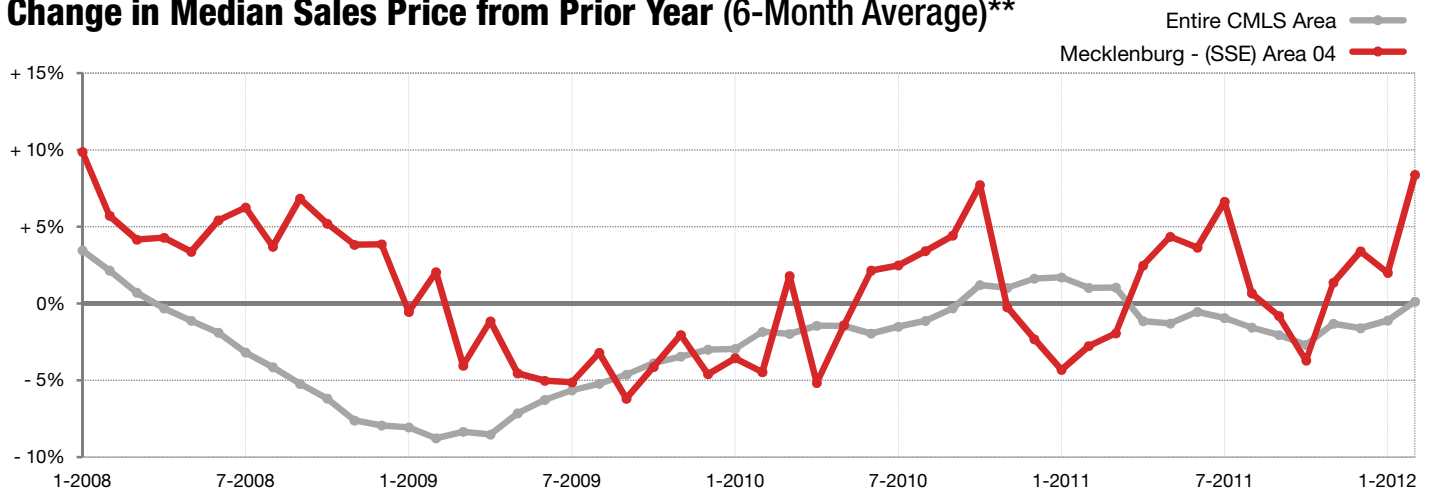
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Charlotte Regional Realtor® Association

Mecklenburg - (S) Area 05

- 6.9%

Change in
New Listings

+ 8.1%

Change in
Closed Sales

- 1.6%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	334	311	- 6.9%	661	597	- 9.7%
Closed Sales	99	107	+ 8.1%	212	214	+ 0.9%
Median Sales Price*	\$238,905	\$235,000	- 1.6%	\$250,000	\$238,913	- 4.4%
Average Sales Price*	\$331,738	\$331,602	- 0.0%	\$337,055	\$327,367	- 2.9%
Percent of Original List Price Received*	88.2%	92.6%	+ 5.0%	88.3%	91.7%	+ 3.8%
List to Close	146	147	+ 0.5%	149	148	- 1.1%
Inventory of Homes for Sale	1,754	1,337	- 23.8%	--	--	--
Months Supply of Inventory	11.2	8.0	- 28.8%	--	--	--

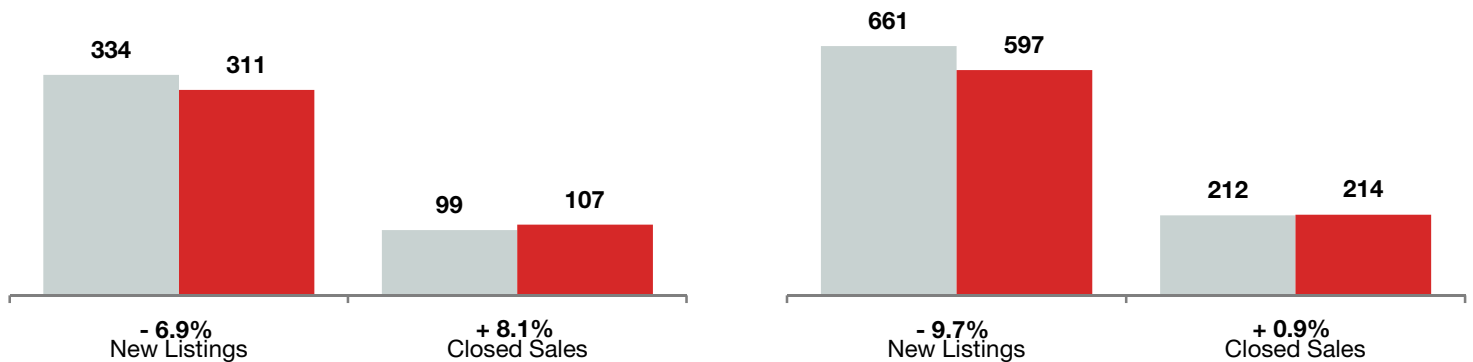
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February

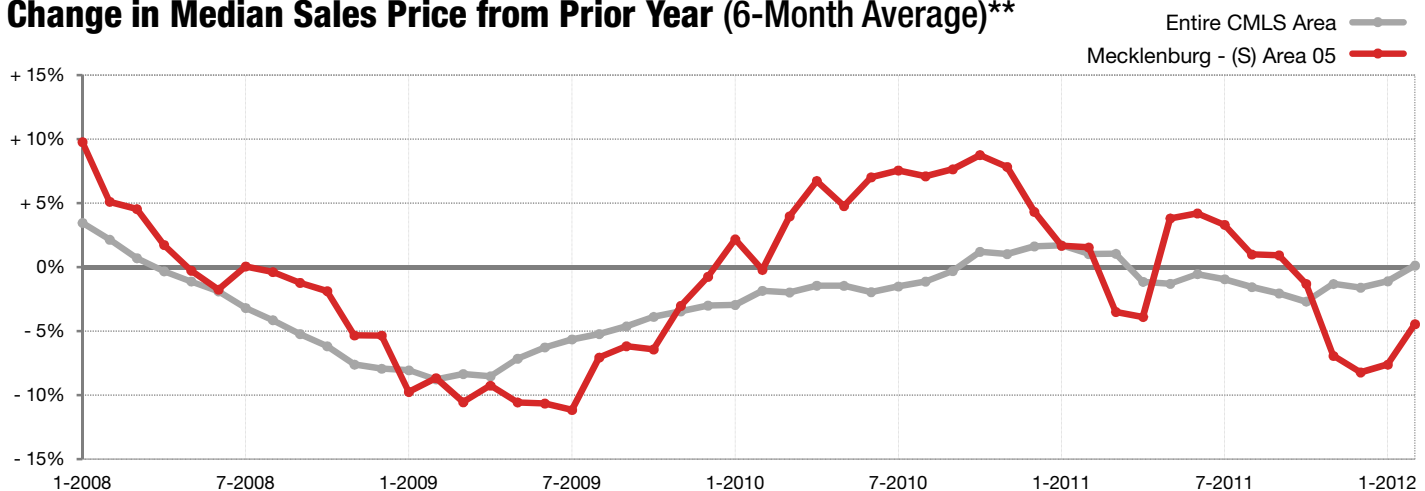
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Charlotte Regional Realtor® Association

Mecklenburg - (SSW) Area 06

- 4.0%

Change in
New Listings

- 14.8%

Change in
Closed Sales

- 1.3%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	125	120	- 4.0%	277	216	- 22.0%
Closed Sales	54	46	- 14.8%	144	99	- 31.3%
Median Sales Price*	\$152,500	\$150,450	- 1.3%	\$186,731	\$157,000	- 15.9%
Average Sales Price*	\$164,491	\$193,575	+ 17.7%	\$197,263	\$190,329	- 3.5%
Percent of Original List Price Received*	88.4%	90.3%	+ 2.1%	92.9%	89.9%	- 3.2%
List to Close	155	196	+ 26.3%	155	189	+ 21.9%
Inventory of Homes for Sale	696	477	- 31.5%	--	--	--
Months Supply of Inventory	11.8	6.8	- 42.1%	--	--	--

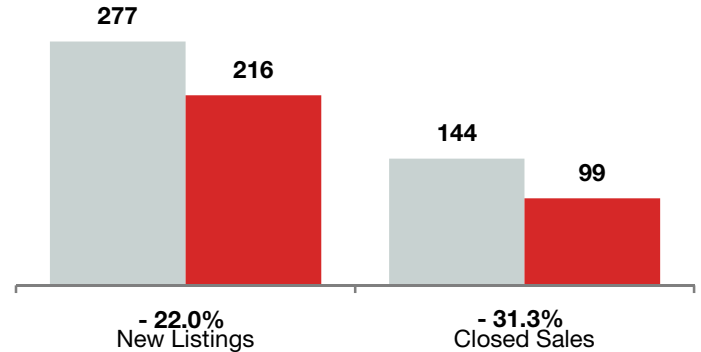
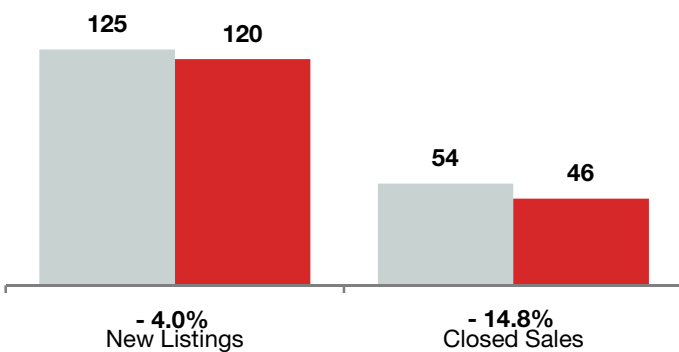
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February

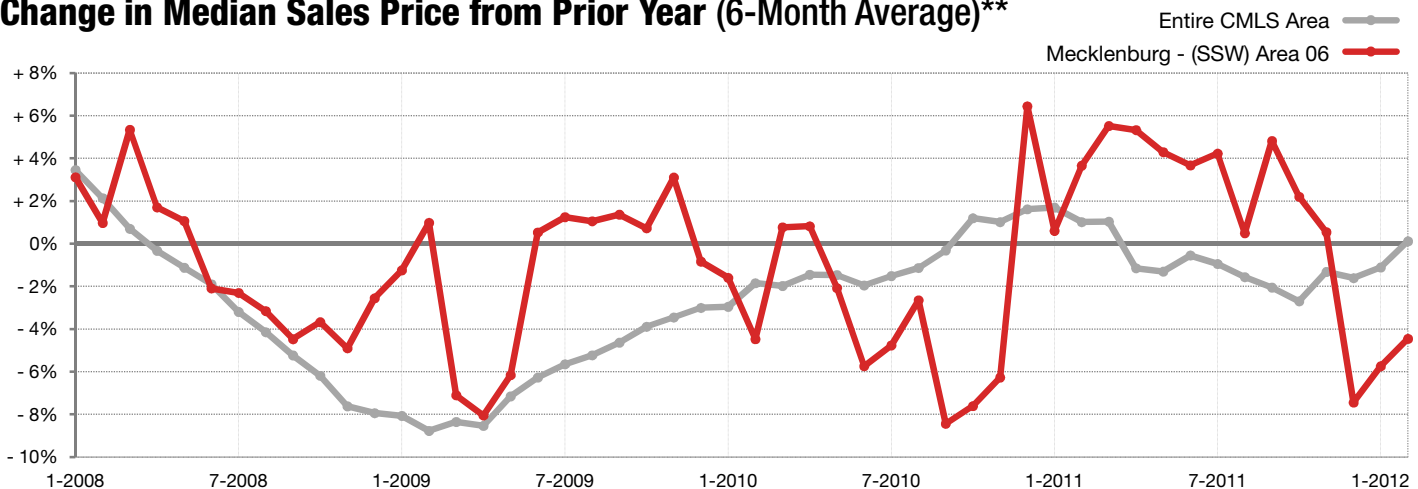
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Charlotte Regional Realtor® Association

Mecklenburg - (SW) Area 07

- 25.0%

Change in
New Listings

+ 73.0%

Change in
Closed Sales

+ 9.1%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	104	78	- 25.0%	239	171	- 28.5%
Closed Sales	37	64	+ 73.0%	85	107	+ 25.9%
Median Sales Price*	\$116,000	\$126,500	+ 9.1%	\$125,000	\$130,000	+ 4.0%
Average Sales Price*	\$129,216	\$137,818	+ 6.7%	\$138,506	\$141,820	+ 2.4%
Percent of Original List Price Received*	88.4%	92.6%	+ 4.8%	90.2%	92.3%	+ 2.2%
List to Close	137	127	- 7.2%	138	130	- 5.9%
Inventory of Homes for Sale	647	398	- 38.5%	--	--	--
Months Supply of Inventory	11.1	5.6	- 49.4%	--	--	--

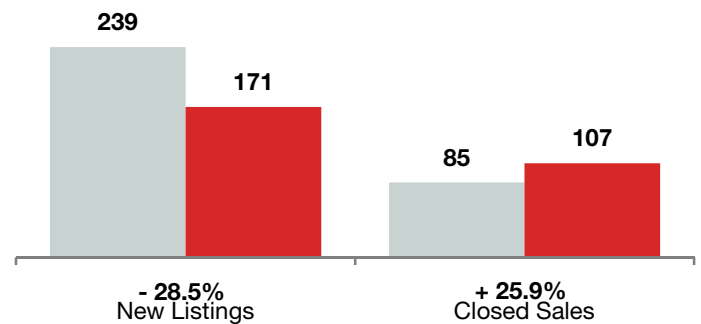
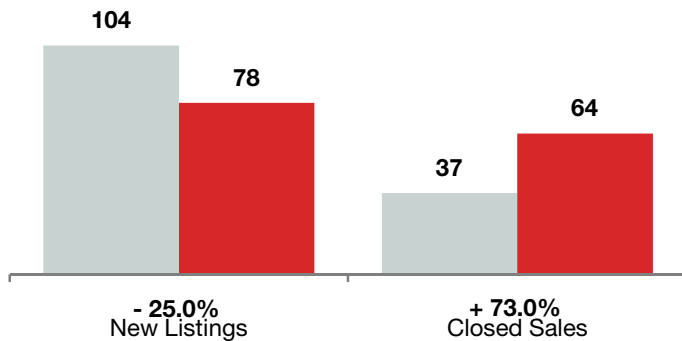
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February

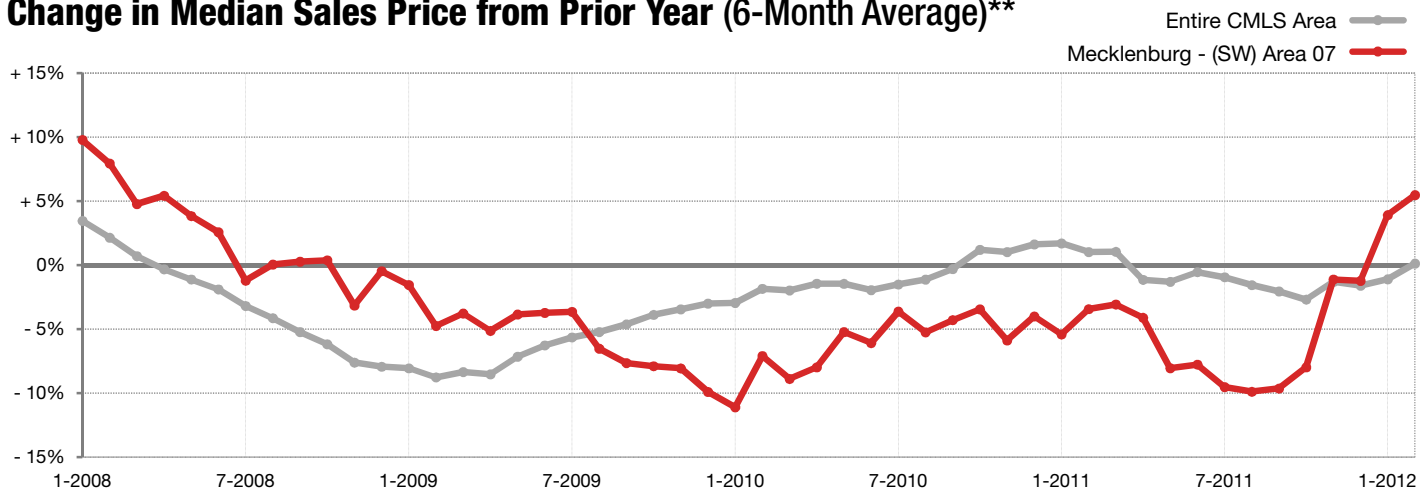
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Charlotte Regional Realtor® Association

Mecklenburg - (W) Area 08

- 24.5%

Change in
New Listings

- 18.6%

Change in
Closed Sales

+ 6.9%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	98	74	- 24.5%	174	143	- 17.8%
Closed Sales	43	35	- 18.6%	78	72	- 7.7%
Median Sales Price*	\$42,000	\$44,900	+ 6.9%	\$45,500	\$60,375	+ 32.7%
Average Sales Price*	\$47,614	\$63,977	+ 34.4%	\$53,531	\$69,045	+ 29.0%
Percent of Original List Price Received*	85.1%	85.2%	+ 0.1%	84.9%	86.3%	+ 1.7%
List to Close	130	146	+ 12.2%	126	142	+ 13.2%
Inventory of Homes for Sale	478	318	- 33.5%	--	--	--
Months Supply of Inventory	9.8	7.1	- 27.5%	--	--	--

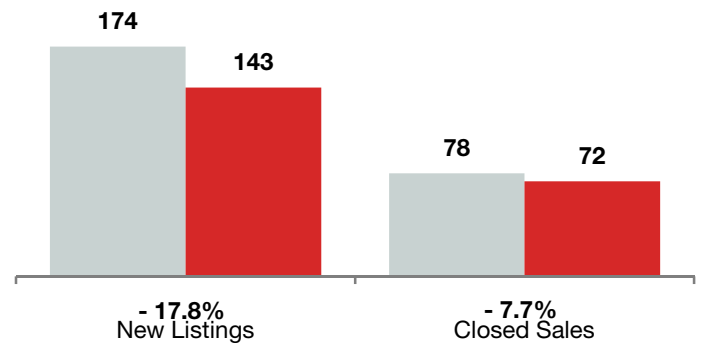
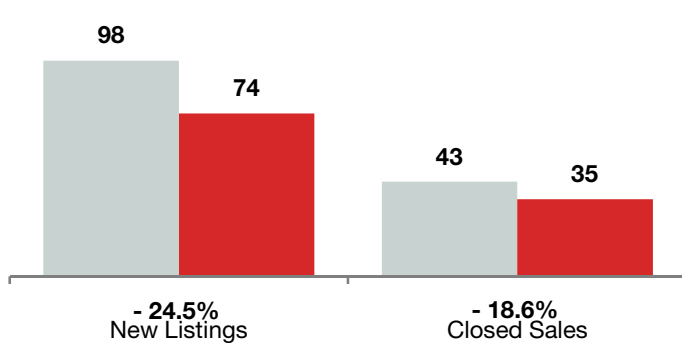
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February

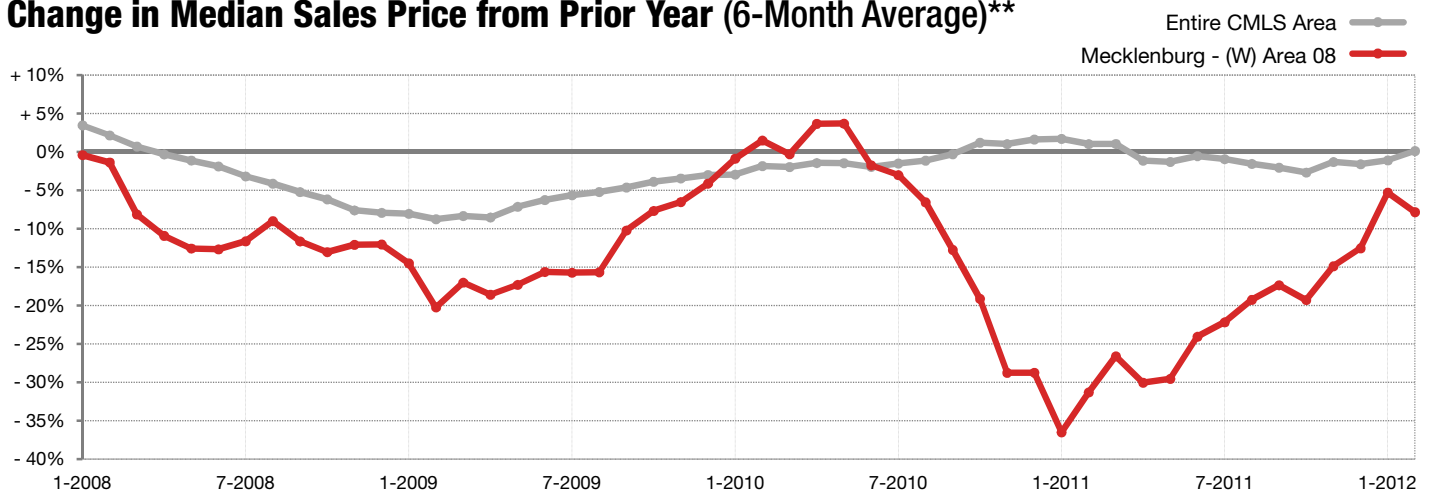
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Charlotte Regional Realtor® Association

Mecklenburg - (NW) Area 09

+ 4.1%

Change in
New Listings

+ 70.7%

Change in
Closed Sales

- 5.7%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	145	151	+ 4.1%	316	260	- 17.7%
Closed Sales	41	70	+ 70.7%	99	122	+ 23.2%
Median Sales Price*	\$132,500	\$125,000	- 5.7%	\$119,900	\$127,500	+ 6.3%
Average Sales Price*	\$151,095	\$134,698	- 10.9%	\$142,579	\$139,216	- 2.4%
Percent of Original List Price Received*	91.4%	90.4%	- 1.1%	89.3%	91.0%	+ 2.0%
List to Close	131	160	+ 22.1%	123	155	+ 25.2%
Inventory of Homes for Sale	764	502	- 34.3%	--	--	--
Months Supply of Inventory	10.4	6.8	- 34.5%	--	--	--

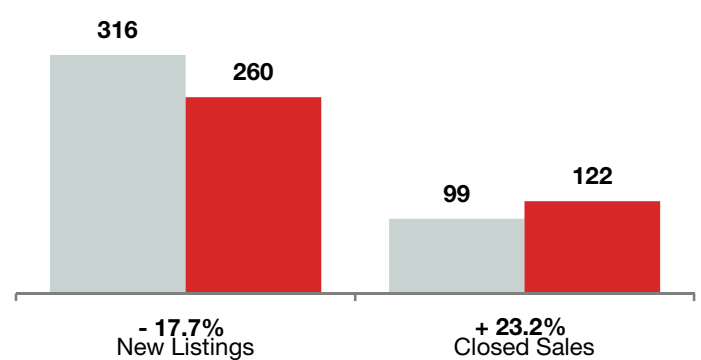
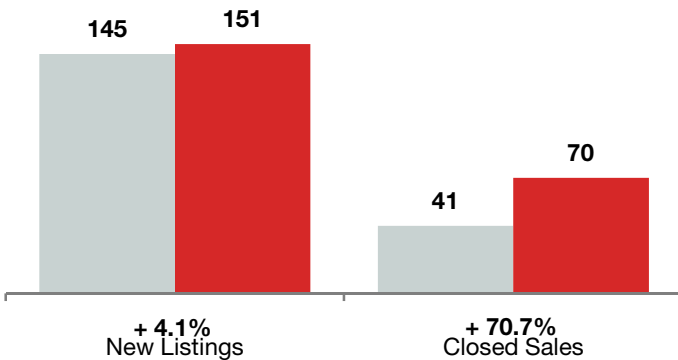
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February

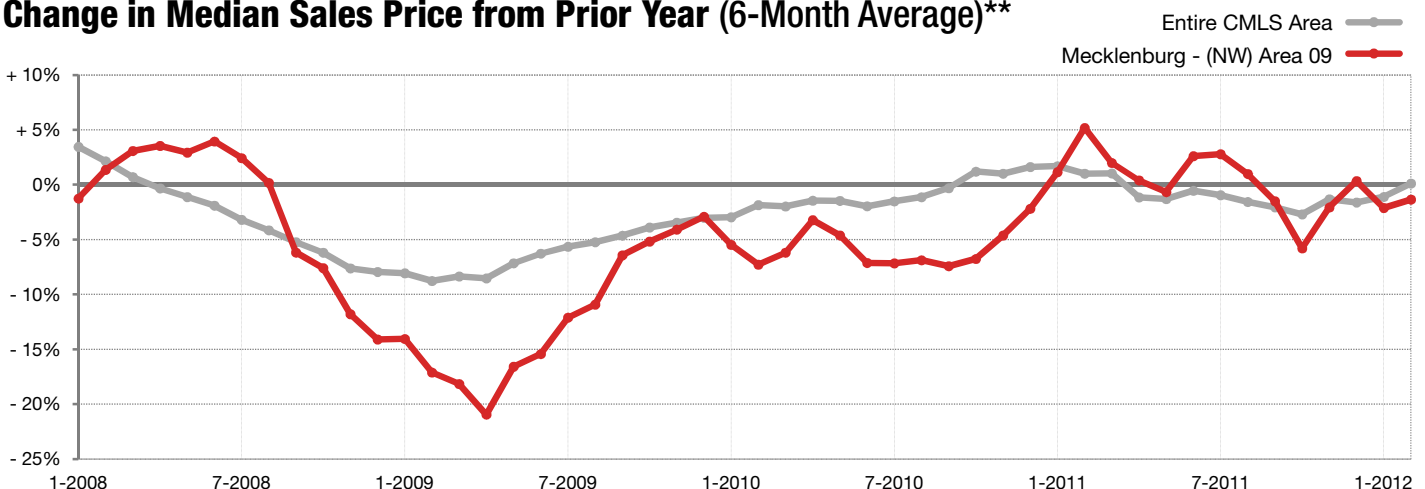
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



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Charlotte Regional Realtor® Association

Lake Norman / Area 13

+ 1.2%

Change in
New Listings

+ 31.5%

Change in
Closed Sales

+ 13.3%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	245	248	+ 1.2%	474	513	+ 8.2%
Closed Sales	54	71	+ 31.5%	112	129	+ 15.2%
Median Sales Price*	\$282,450	\$320,000	+ 13.3%	\$312,750	\$295,000	- 5.7%
Average Sales Price*	\$326,104	\$426,621	+ 30.8%	\$373,660	\$393,229	+ 5.2%
Percent of Original List Price Received*	87.7%	89.5%	+ 2.0%	87.8%	89.0%	+ 1.3%
List to Close	185	167	- 10.0%	178	173	- 2.6%
Inventory of Homes for Sale	1,420	1,131	- 20.4%	--	--	--
Months Supply of Inventory	16.1	12.1	- 24.8%	--	--	--

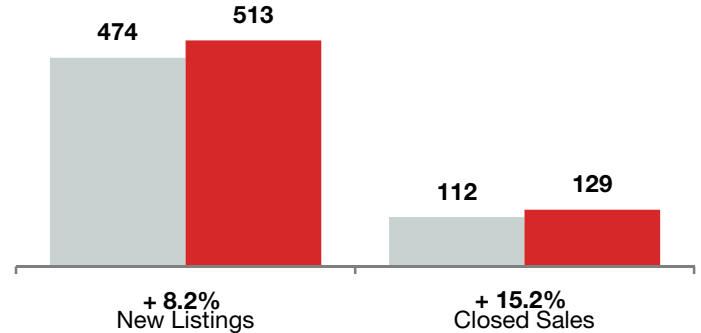
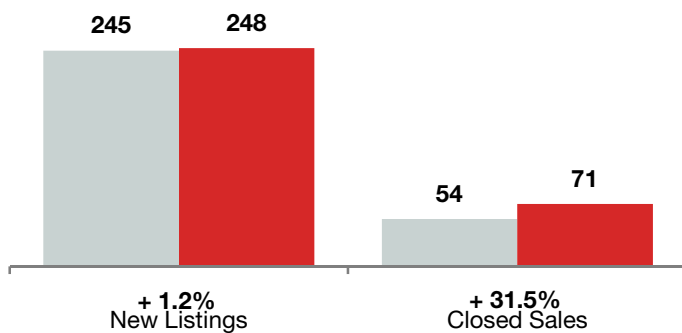
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February

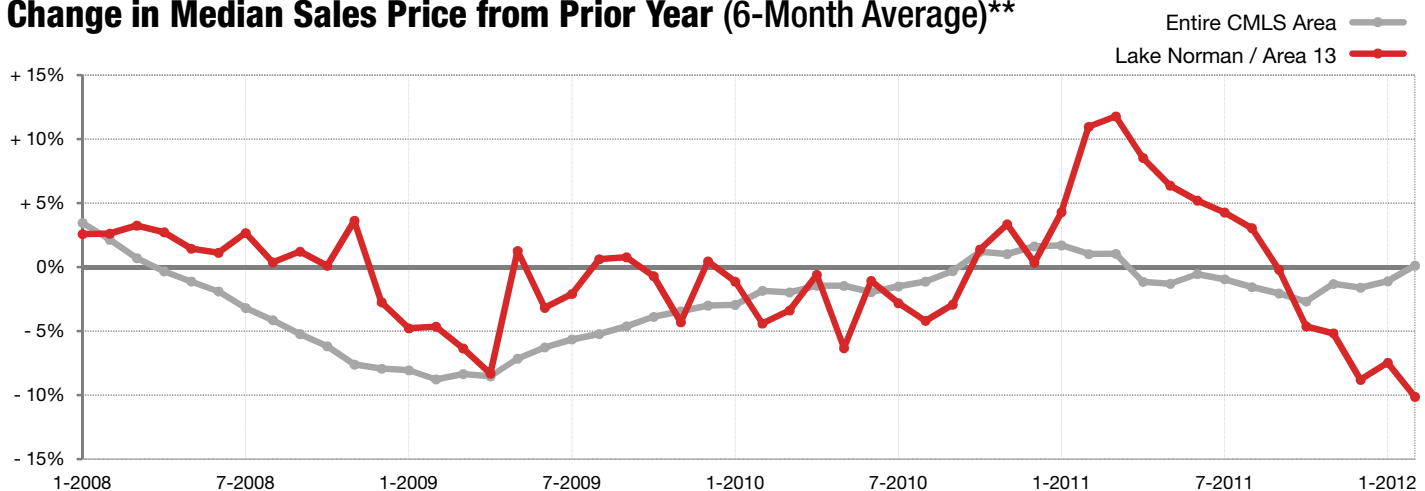
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Charlotte Regional Realtor® Association

Lake Wylie / Area 15

- 12.4%

Change in
New Listings

- 8.7%

Change in
Closed Sales

- 28.1%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	89	78	- 12.4%	161	184	+ 14.3%
Closed Sales	23	21	- 8.7%	42	44	+ 4.8%
Median Sales Price*	\$327,000	\$235,000	- 28.1%	\$292,500	\$305,517	- 19.7%
Average Sales Price*	\$324,261	\$293,633	- 9.4%	\$298,012	\$305,517	+ 2.5%
Percent of Original List Price Received*	86.0%	88.1%	+ 2.4%	86.1%	89.3%	+ 3.7%
List to Close	185	193	+ 4.7%	164	180	+ 9.4%
Inventory of Homes for Sale	503	422	- 16.1%	--	--	--
Months Supply of Inventory	16.1	13.8	- 14.7%	--	--	--

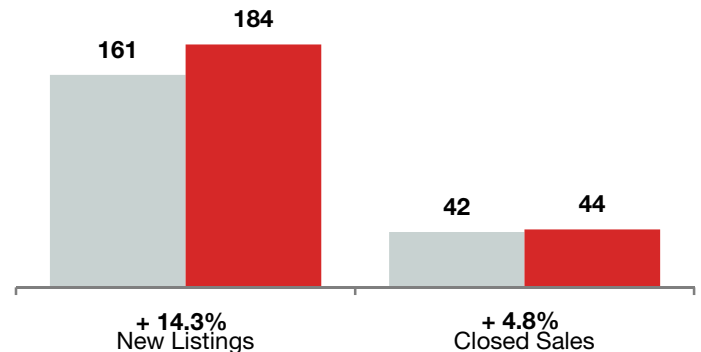
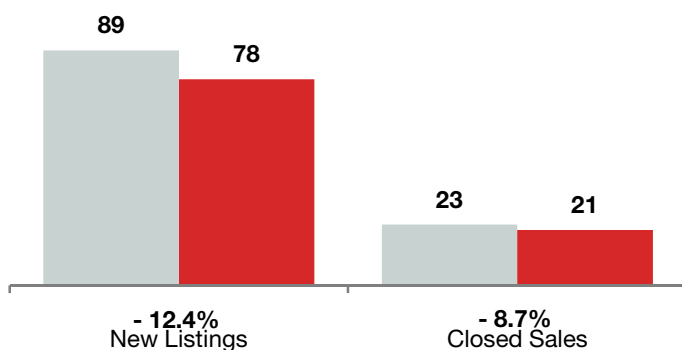
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February

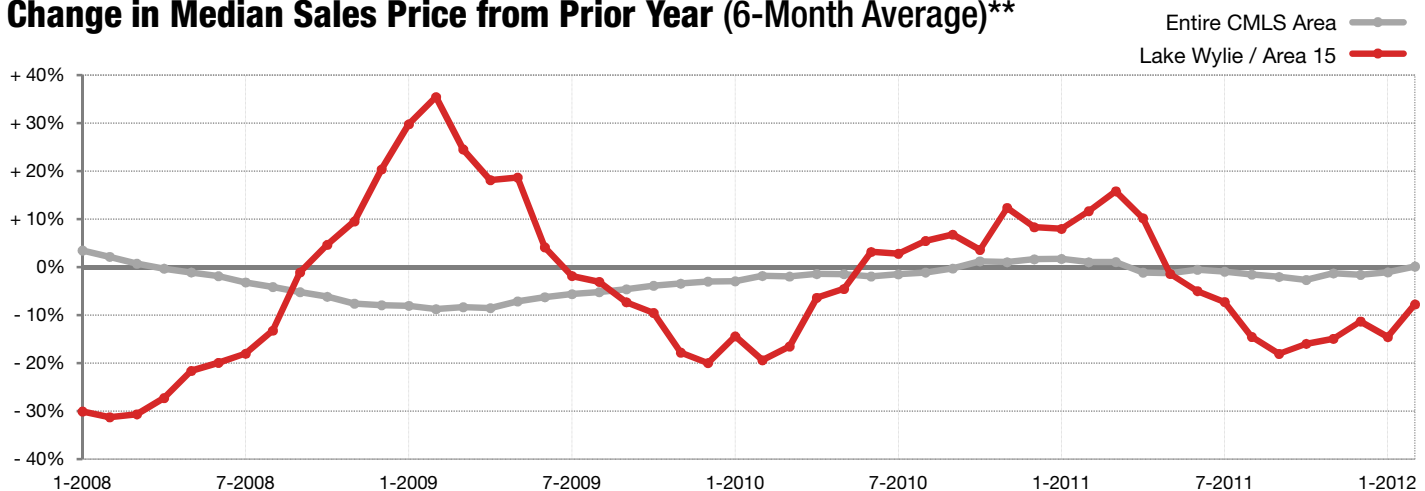
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



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Uptown / Area 99

+ 2.9%

Change in
New Listings

+ 133.3%

Change in
Closed Sales

+ 6.8%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	35	36	+ 2.9%	64	59	- 7.8%
Closed Sales	6	14	+ 133.3%	19	25	+ 31.6%
Median Sales Price*	\$212,500	\$227,000	+ 6.8%	\$195,000	\$210,000	+ 7.7%
Average Sales Price*	\$219,583	\$243,214	+ 10.8%	\$234,811	\$239,240	+ 1.9%
Percent of Original List Price Received*	84.7%	90.2%	+ 6.6%	87.9%	88.6%	+ 0.7%
List to Close	185	241	+ 30.5%	180	229	+ 26.8%
Inventory of Homes for Sale	201	163	- 18.9%	--	--	--
Months Supply of Inventory	15.7	10.5	- 32.9%	--	--	--

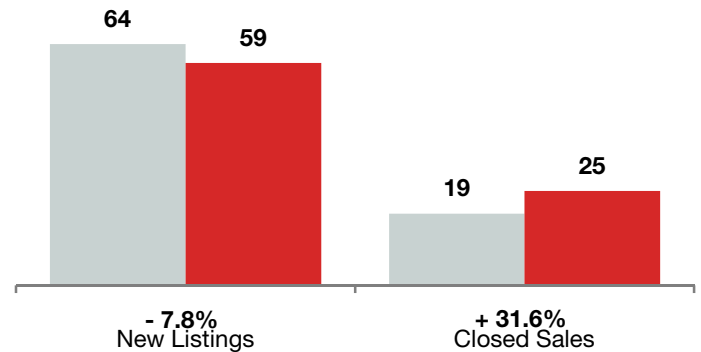
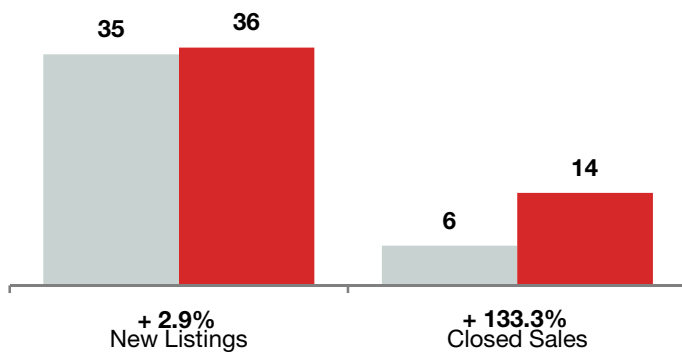
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February

■ 2011 ■ 2012

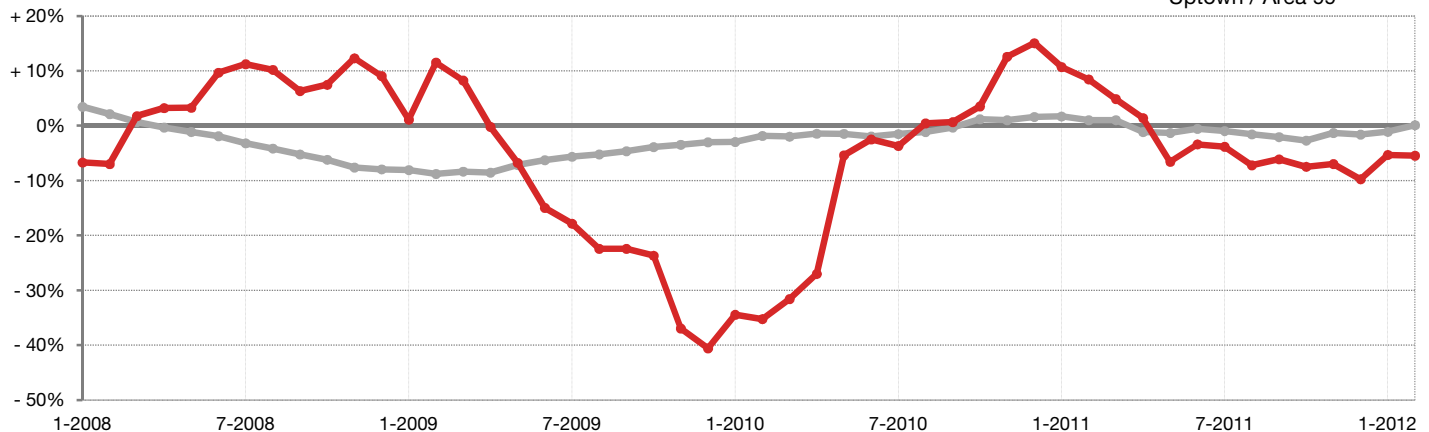
Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**

Entire CMLS Area —
Uptown / Area 99 —



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Charlotte Regional Realtor® Association

Charlotte-Gastonia-Rock Hill MSA

- 5.2%

Change in
New Listings

+ 23.1%

Change in
Closed Sales

+ 0.7%

Change in
Median Sales Price

February

Year to Date

	2011	2012	+ / -	2011	2012	+ / -
New Listings	3,222	3,054	- 5.2%	6,363	5,916	- 7.0%
Closed Sales	1,005	1,237	+ 23.1%	2,160	2,444	+ 13.1%
Median Sales Price*	\$146,000	\$147,000	+ 0.7%	\$146,900	\$148,000	+ 0.7%
Average Sales Price*	\$185,004	\$183,769	- 0.7%	\$188,904	\$187,225	- 0.9%
Percent of Original List Price Received*	88.3%	91.1%	+ 3.1%	88.5%	91.0%	+ 2.9%
List to Close	151	149	- 1.9%	152	150	- 1.2%
Inventory of Homes for Sale	17,028	12,885	- 24.3%	--	--	--
Months Supply of Inventory	11.7	8.2	- 29.8%	--	--	--

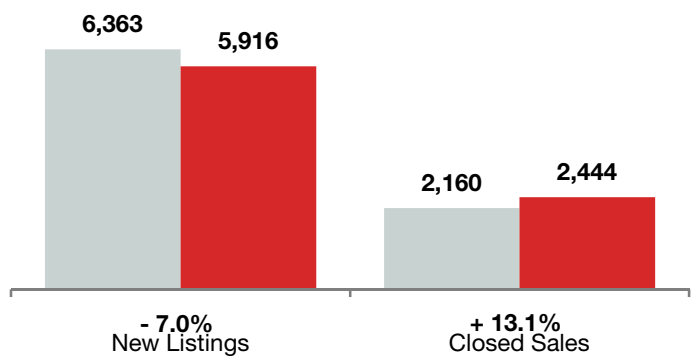
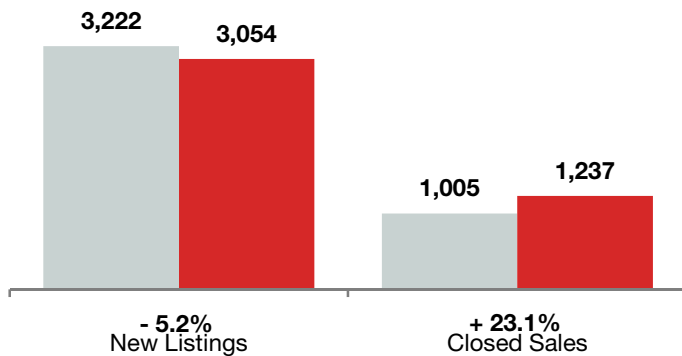
* Does not account for seller concessions. | Activity for one month can sometimes look extreme due to small sample size.

February

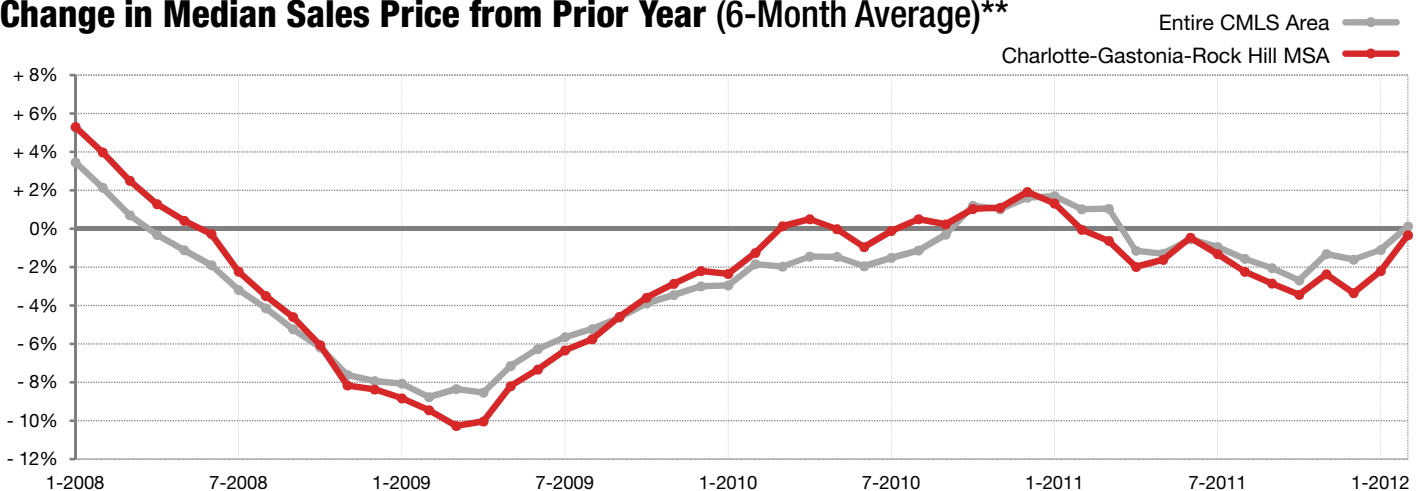
■ 2011 ■ 2012

Year to Date

■ 2011 ■ 2012



Change in Median Sales Price from Prior Year (6-Month Average)**



** Each dot represents the change in median sales price from the prior year using a 6-month weighted average. This means that each of the 6 months used in a dot are proportioned according to their share of sales during that period. | All data from Carolina Multiple Listing Services, Inc. Current as of September 6, 2011. | Powered by 10K Research and Marketing.